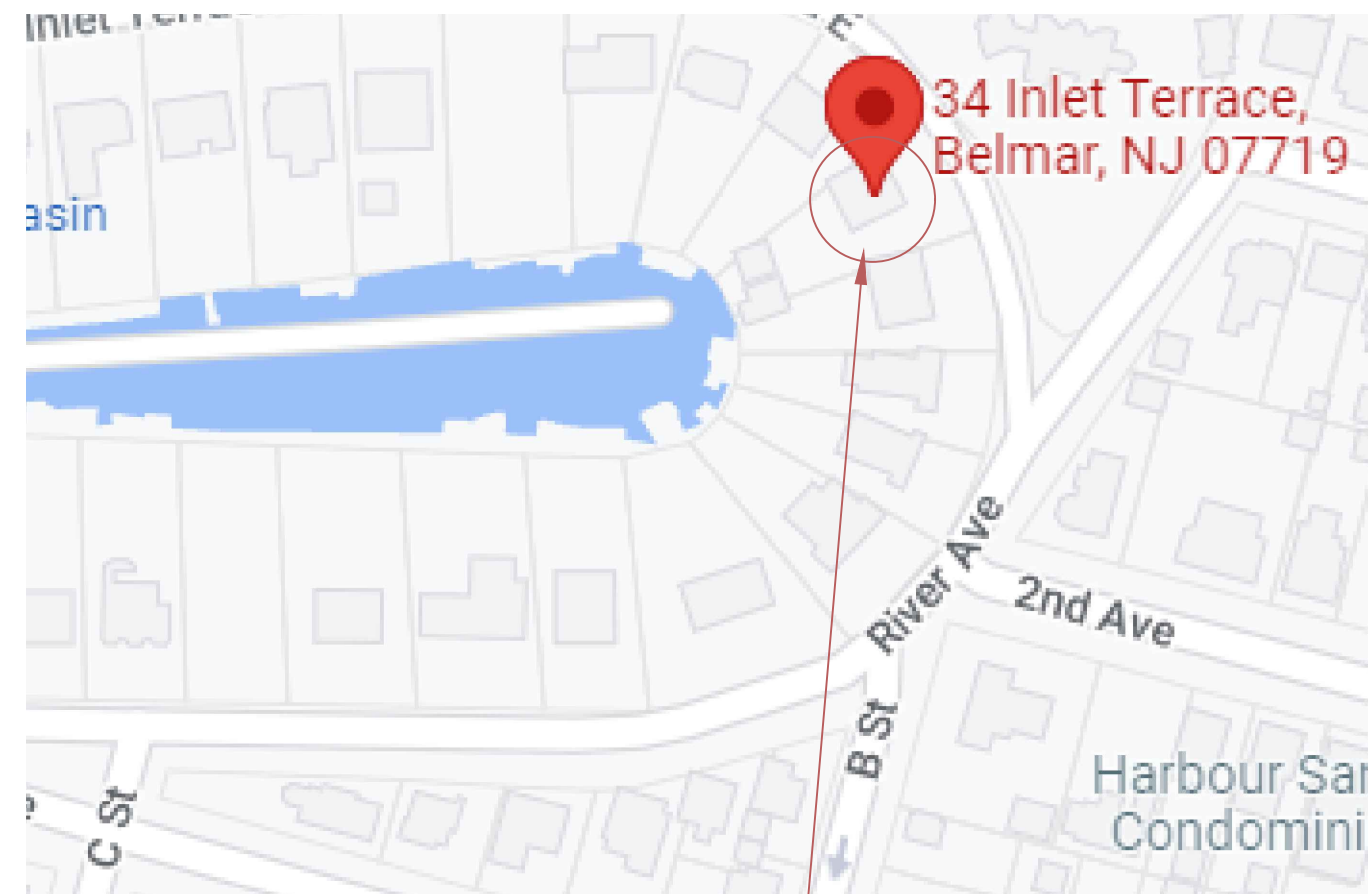


VENUGOPAL RESIDENCE



LOCATION MAP

APPROXIMATE SITE LOCATION



Project NEW ONE FAMILY HOUSE

Energy Code: **2018 IECC**
 Location: **Belmar, New Jersey**
 Construction Type: **Single-family**
 Project Type: **New Construction**
 Orientation: **Bldg. faces 0 deg. from North**
 Conditioned Floor Area: **1,742 FT²**
 Glazing Area: **14%**
 Climate Zone: **4 (5253 HDD)**
 Permit Date:
 Permit Number:

Construction Site: **34 INLET TERRACE, BELMAR, NJ 07719**
 Owner/Agent: **RAVI VENUGOPAL, 34 INLET TERRACE, BELMAR, NJ 07719, rpnconsult@verizon.net**
 Designer/Contractor: **Tom Degnan, DEGNAN DESIGN BUILD, P.O. BOX 455, SPRING LAKE, NJ 07762, 732 974-8600, tom@degnandesign.com**

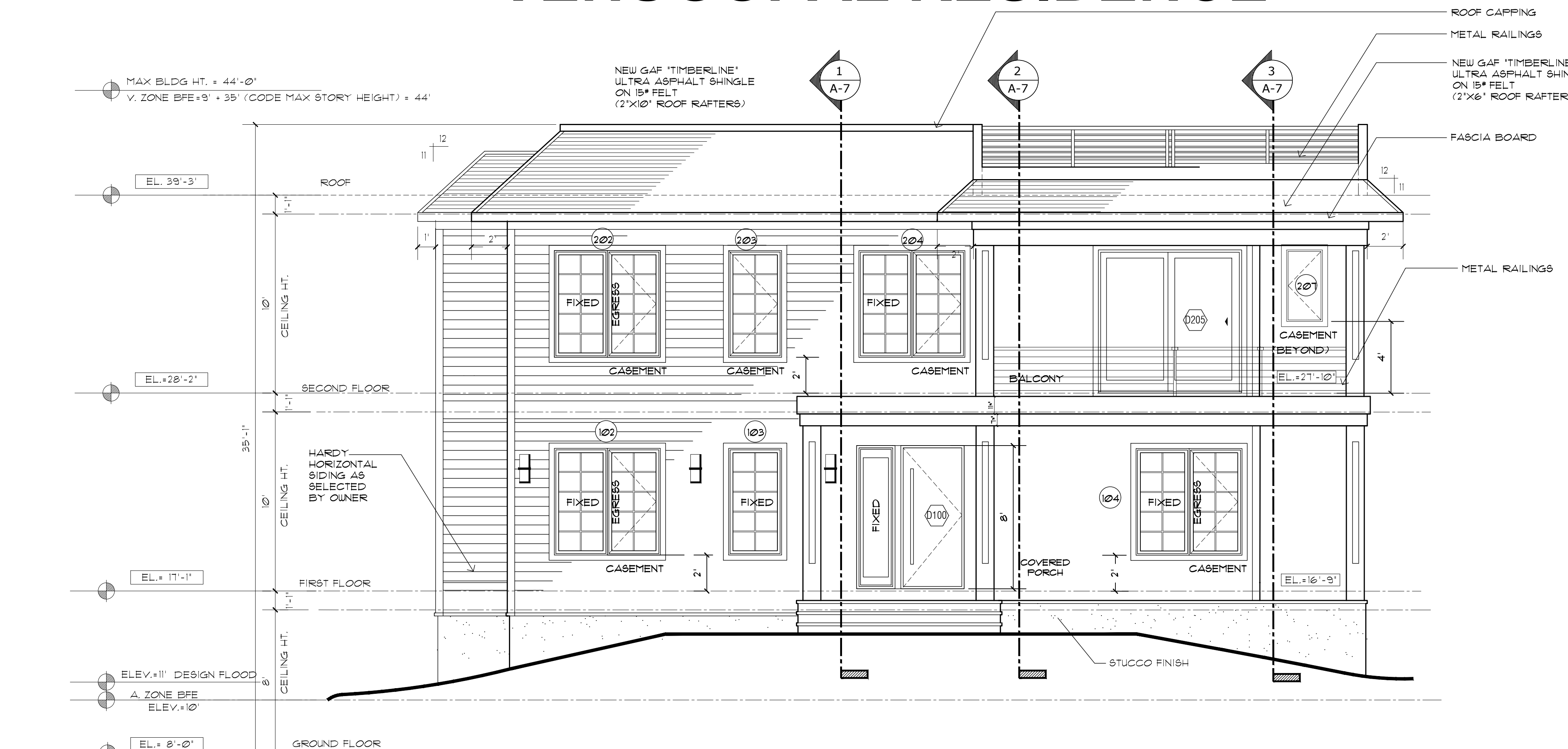
Compliance: **20.4% Better Than Code** Maximum UA: **617** Your UA: **491** Maximum SHGC: **0.40** Your SHGC: **0.36**
 The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area of Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Flat Ceiling or Scissor Truss	1,625	38.0	0.0	0.030	0.026	49	42
Wall 1 - FRONT: Wood Frame, 16" o.c. Orientation: Front	1,056	19.0	5.0	0.045	0.060	34	46
Door 1 - ENTRY: Solid Door (under 50% glazing) Orientation: Front	28			0.140	0.320	4	9
Door 2 - SLIDER: Glass Door (over 50% glazing) SHGC: 0.24 Orientation: Front	64			0.240	0.320	15	20
Door LITES: Glass Door (over 50% glazing) SHGC: 0.15 Orientation: Front	17			0.240	0.320	4	5
Window 1: Metal Frame w/ Thermal Break SHGC: 0.40 Orientation: Front	188			0.270	0.320	51	60
Wall 2 - LEFT: Wood Frame, 16" o.c. Orientation: Left side	1,368	19.0	5.0	0.045	0.060	61	81
Window 1: Metal Frame w/ Thermal Break SHGC: 0.40 Orientation: Left side	14			0.270	0.320	4	4

Project Title: NEW ONE FAMILY HOUSE Report date: 07/26/22
 Data filename: Page 1 of 10



PROPOSED FRONT VIEW

SCALE : 1/4" = 1'-0"

LIVING AREAS: (CONDITIONED SPACES)

FIRST FLOOR	1,714 SF
PORCH (1ST FLOOR)	271 SF
SECOND FLOOR	1,714 SF
PORCH (2ND FLOOR)	184 SF

TOTAL 3,883 SF

DESIGN LOADS

BEDROOMS	30 PSF (LL) + 10 PSF (DL) = 40 PSF (TL)
ROOF	20 PSF (LL) + 15 PSF (DL) = 35 PSF (TL)
BALCONIES	60 PSF (LL) + 10 PSF (DL) = 70 PSF (TL)
DECKS	40 PSF (LL) + 10 PSF (DL) = 50 PSF (TL)
STAIRS	100 PSF (LL) + 10 PSF (DL) = 110 PSF (TL)
HANDRAILS	200 LBS (APPLIED IN ANY DIRECTION)

BUILDING CHARACTERISTICS

USE GROUP	R-5
CONSTRUCTION TYPE	5-A
NUMBER OF STORIES	2
HEIGHT OF STRUCTURE	35'-0"
AREA OF LARGEST FLOOR	1,985 SF
AREA OF FIRST FLOOR	1,985 SF
AREA OF SECOND FLOOR	1,898 SF
TOTAL NEW BUILDING AREA	3,883 SF
TOTAL VOLUME	37,838 CF

FLOOD HAZARD ZONE	A
BASE FLOOD ELEVATION	10'
DESIGN FLOOD ELEVATION	11'

DRAWING INDEX

CS	LOCATION MAP & ZONING ANALYSIS
A-1	FOUNDATION & STAIR VESTIBULE PLAN
A-2	FIRST FLOOR PLAN
A-3	SECOND FLOOR PLAN
A-4	ROOF PLAN, NOTES AND DETAILS
A-5	FRONT & REAR ELEVATIONS
A-6	SOUTH AND NORTH ELEVATIONS
A-7	BUILDING SECTIONS
A-8	WINDOW AND DOOR DETAILS
A-9	SITE PLAN & GAZEBO PLANS
E-1	GROUND & FIRST FLOOR ELECT. PLANS
E-2	SECOND FLOOR ELECTRICAL PLAN
S-1	STRUCTURAL DETAILS
SP-1	SPECIFICATIONS

ISSUE		
NO.	DATE	DESCRIPTION
1	07/28/2022	ZONING SUBMISSION
2		
3		

REVISION		
NO.	DATE	DESCRIPTION
1		
2		
3		

M.B. ARCHITECTURAL DESIGN AND CONSULTING, LLC

NJ LICENSE / CERTIFICATE #21A00109200

MARTHA BRAZOBAN - ARCHITECT, AIA

570 NORTH BROAD STREET, SUITE 15
 ELIZABETH, NJ 07207
 PHONE: (908) 316-5337
 FAX: (908) 737-7596
 MBARCH570@GMAIL.COM

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PLANNING - DESIGN - CONSTRUCTION MANAGEMENT

PH: (732) 974-8600

P.O. BOX 455
 SPRING LAKE, NJ 07762

EMAIL: TOM@DEGNANDESIGN.COM

PROJECT LOCATION

VENUGOPAL RESIDENCE
 34 INLET TERRACE
 BELMAR, NJ 07719

ZONE: R-100
 LOT: 15
 BLOCK: 12

PROJECT DESCRIPTION

PROPOSED 2 STORY
 FRAME DWELLING

DRAWING TITLE

LOCATION MAP & ZONING ANALYSIS

PROJ. MANAGER: THOMAS DEGNAN
 DRAWN BY: VINCE DELAROSA
 DATE: 07-28-2022

DRAWING NUMBER CS