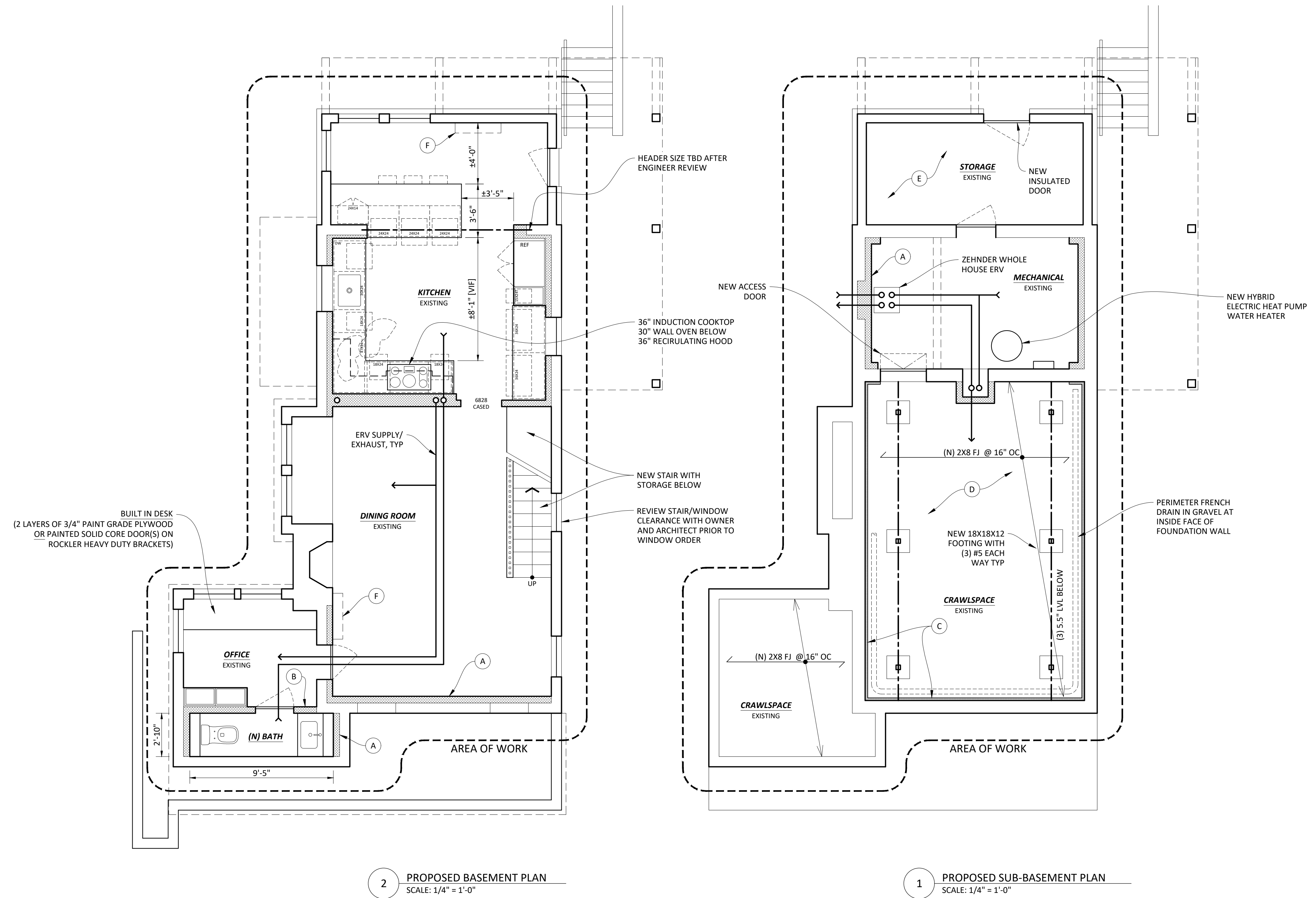


ISSUE	DATE	NO
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BASEMENT REVISION	03/30/23	1



FRANK
RESIDENCE

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SECTION: 21
BLOCK: 123
LOT: 1559



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24 MARCH 2023

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scale:
1/4" = 1'-0"

title:

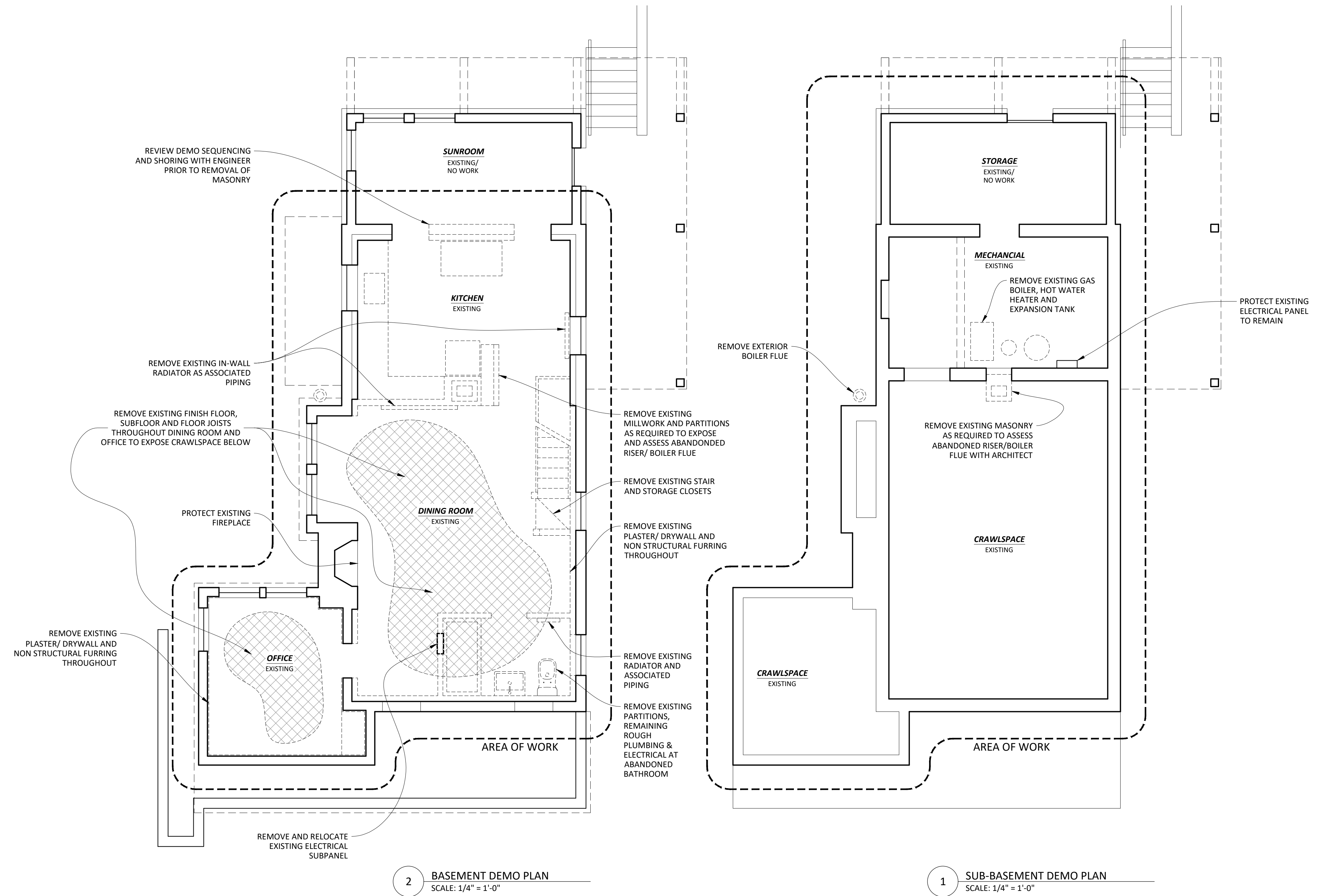
PROPOSED PLANS
SUB-BASEMENT
& BASEMENT

number:

A101.1

KEY NOTES	KEY NOTES	WINDOW & DOOR SCHEDULE	CONSTRUCTION GRAPHIC LEGEND																																													
<p>(A) ALL EXTERIOR MASONRY WALLS TO RECEIVE, FROM OUTSIDE FACE IN: DRAINAGE MAT, 1" XPS INSULATION (R5), 2X4 STUD FRAMING, MINERAL WOOL CAVITY INSULATION (R15), 5/8" GWB UNLESS OTHERWISE NOTED</p> <p>(B) NON-STRUCTURAL 2X4 PARTITION, MINERAL WOOL ACOUSTIC CAVITY INSULATION, 5/8" GWB BOTH SIDES</p> <p>(C) CRAWLSPACE WALLS TO RECEIVE, FROM OUTSIDE FACE IN: DRAINAGE MAT, 2" XPS INSULATION (R10) WITH ALL SEAMS TAPED</p> <p>(D) CRAWLSPACE FLOOR TO RECEIVE, FROM BOTTOM TO TOP: 2" GRAVEL BASE, 2" XPS INSULATION (R10) WITH ALL SEAMS TAPED, 6 MIL VAPOR BARRIER</p> <p>(E) PROVIDE ADDITIONAL INSULATION AND AIR SEALING AS REQUIRED AT EXISTING SUB-BASEMENT STORAGE AREA</p>	<p>(F) ALL EXISTING MINI-SPLIT HEADS TO BE ASSESSED FOR APPROPRIATE SIZE/LOCATION THROUGHOUT THE HOUSE. REVIEW FINDINGS AND RECOMMENDATIONS WITH OWNER AND ARCHITECT.</p> <p>NOTE</p> <ul style="list-style-type: none"> A COMPREHENSIVE INSULATION AND AIR SEALING ASSESSMENT IS RECOMMENDED INCLUDING A BASELINE BLOWER DOOR TEST PRIOR TO AND IMMEDIATELY FOLLOWING REMEDIAL INSULATION AND AIR SEALING WORK 	<table border="1"> <thead> <tr> <th>TAG</th> <th>DESCRIPTION</th> <th>NOMINAL SIZE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	TAG	DESCRIPTION	NOMINAL SIZE																															<table border="1"> <tbody> <tr> <td></td> <td>NEW WOOD FRAME WALL</td> </tr> <tr> <td></td> <td>EXISTING WALL TO REMAIN</td> </tr> <tr> <td></td> <td>EXISTING TO BE REMOVED</td> </tr> <tr> <td></td> <td>LINE OF FINISH OR SOFFIT ABOVE</td> </tr> <tr> <td></td> <td>HIDDEN LINES / LINE OF FINISH BELOW</td> </tr> <tr> <td></td> <td>NEW POURED CONCRETE FOUNDATION WALL</td> </tr> </tbody> </table>		NEW WOOD FRAME WALL		EXISTING WALL TO REMAIN		EXISTING TO BE REMOVED		LINE OF FINISH OR SOFFIT ABOVE		HIDDEN LINES / LINE OF FINISH BELOW		NEW POURED CONCRETE FOUNDATION WALL
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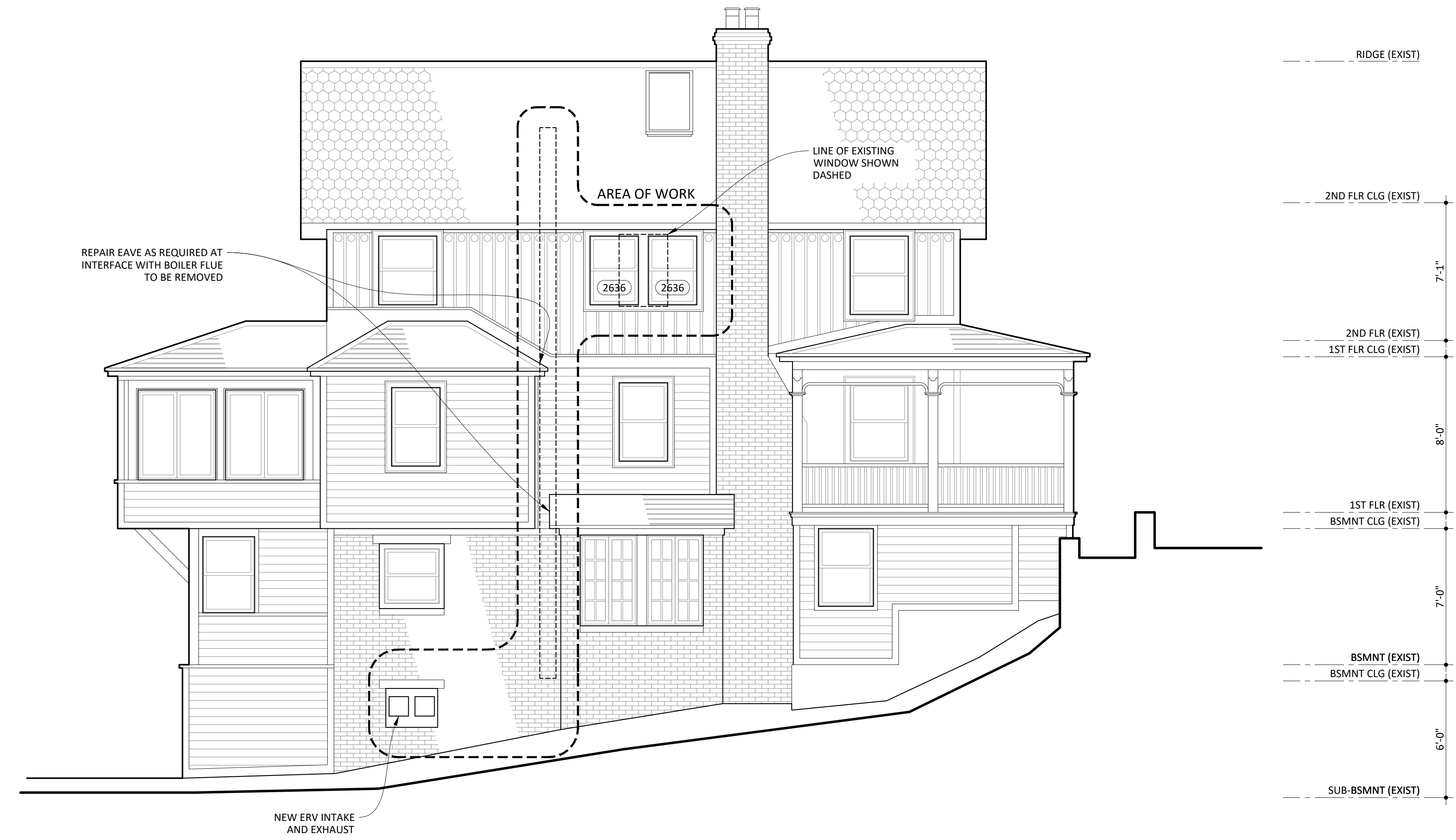
NOTES
<p>STRUCTURAL NOTE:</p> <ul style="list-style-type: none"> ALL POSTS TO SOLID BEARING <p>DEMOLITION NOTES:</p> <ul style="list-style-type: none"> SECURELY SHORE EXISTING STRUCTURAL ELEMENTS AS REQUIRED PRIOR TO DEMOLITION REMOVE EXISTING CONSTRUCTION AS REQUIRED BY THE DRAWINGS AND AS NECESSARY FOR ALL ALTERATIONS. CUT EXISTING CONSTRUCTION AND NEW OPENINGS TO ACCOMMODATE NEW WORK. DEMOLISH AND REMOVE EXISTING PARTITIONS INCLUDING DOORS AND FRAMES AS INDICATED. PROVIDE ALL OTHER CUTTING, PIECING OUT, RE-ARRANGING, FILLING-IN, ETC. OF EXISTING WORK AS NECESSARY TO PROPERLY COMPLETE THE WORK IN ACCORDANCE WITH ENCOUNTERED CONDITIONS.

NOTES
<p>DEMOLITION NOTES:</p> <ul style="list-style-type: none"> REMOVE EXISTING MATERIALS AS REQUIRED FROM WALLS, FLOORS, CEILINGS AND ROOFS TO ACCOMMODATE THE NEW MATERIALS. PROTECT EXISTING CONSTRUCTION INDICATED TO REMAIN. REMOVE DEBRIS, RUBBISH, MATERIALS AND EQUIPMENT RESULTING FROM REMOVALS (EXCEPT MATERIAL TO BE RE-USED AS NOTED ON THE DRAWINGS). PROVIDE PATCHING, FILLING, REPLACING ALL SURFACES DISTURBED, CUT, DAMAGED OR IN NEED OF REPAIR OR MADE IMPERFECT BY THE ALTERATION OR REMOVAL OF WORK. ALL PATCHING FOR MECHANICAL AND ELECTRICAL WORK AT ALL LOCATIONS.

CONSTRUCTION GRAPHIC LEGEND

CONSTRUCTION GRAPHIC LEGEND
<p>NEW WOOD FRAME WALL</p> <p>EXISTING WALL TO REMAIN</p> <p>EXISTING TO BE REMOVED</p> <p>LINE OF FINISH OR SOFFIT ABOVE</p> <p>HIDDEN LINES / LINE OF FINISH BELOW</p> <p>NEW POURED CONCRETE FOUNDATION WALL</p>

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1 WEST ELEVATION
1/4" = 1'-0"

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BUILDING ELEVATIONS

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A200.0